

## NOTES

## GENERAL

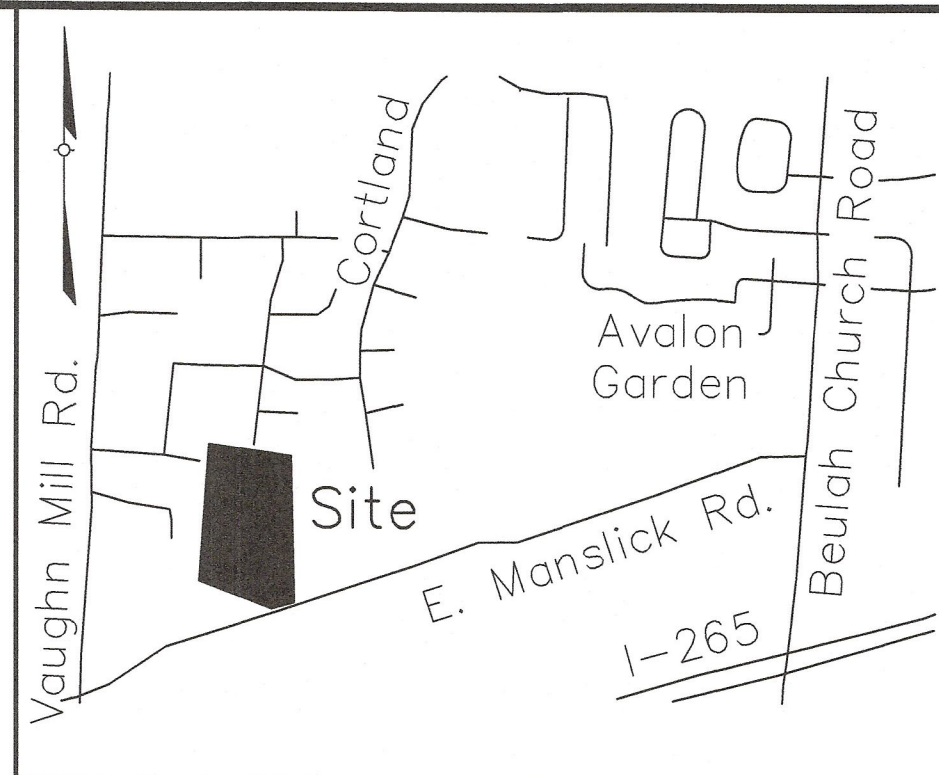
- No lots shown hereon may be subdivided or resubdivided resulting in the creation of a greater number of lots than originally approved by the planning commission.
- Construction fencing shall be erected at the edge of the limits of disturbance areas prior to any grading or construction activities. The fencing is to remain in place until all construction is completed. No parking, material storage, or construction activities shall be permitted within the fenced area.
- A soil erosion and sedimentation control plan shall be developed and implemented in accordance with the Metropolitan Sewer District and USDA Soil Conservation Service recommendations.
- Benchmark and topographical information shown hereon were derived from Lojic data. Boundary information was taken from deeds.
- Regarding Benchmark data, topographical information shown hereon was derived from lojic data.
- Compatible on-site utilities, (electric, phone, cable) shall be placed in a common trench unless otherwise required by appropriate agencies.
- Mitigation measures for dust control shall be in place during construction to prevent fugitive particulate emissions from reaching existing roads and neighboring properties.
- Street trees shall be planted in a manner that does not effect public safety or hamper sight distance. Final location will be determined during construction approval process.
- A site visit was conducted by Theodore Bernstein, RLA on 6/26/24 and no evidence of KARST features were observed.

## SEWER &amp; DRAINAGE

- A portion of the site is located in a 100 year floodplain per FIRM map 21111 C 0095 & 0096 F dated February 26, 2021.
- Sewers by Lateral Extension and subject to fees and any applicable charges.
- A "Request for Sanitary Sewer Capacity" will be filed with MSD.
- All proposed sewer and drain easements shall be 15' unless otherwise indicated.
- The Louisville Water Company will determine the width of their easement prior to construction plan approval.
- Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standard Specifications and other local, state and federal ordinances.
- The final design of this project must meet all MS4 water quality regulations established by MSD. Site layout may change at the design phase due to proper sizing of Green Best Mgmt. Practices.
- An EPSC plan shall be developed and approved in accordance with MSD Design Manual and Standards Specifications prior to construction plan approval.
- MSD drainage bond may be required prior to construction plan approval.
- Lowest finished floor and machinery to be at or above 634.5'.
- The final design of this project must meet all MS4 water quality regulations established by MSD. Site layout may change at the design phase due to proper sizing of Green Best Mgmt. Practices.
- An EPSC plan shall be developed and approved in accordance with MSD Design Manual and Standard Specifications prior to construction plan approval.
- KDOW approval required prior to MSD construction plan approval.
- On-site detention will be provided. Post-developed peak flows will be limited to pre-developed peak flows for the 2,10,25 and 100 year storms or to the capacity of the downstream system, whichever is more restrictive.
- Any required fill in the floodplain shall be compensated onsite at a ratio of 1.5 to 1.
- MSD floodplain permit required prior to MSD construction plan approval.

## STREETS &amp; SIDEWALKS

- All roads within the development shall have curb and gutters, Cul-de-sacs shall have a pavement width of 20 feet with a radius of 35 foot at Cul-de-sac. All other roads shall be 24 feet in width with a 25 foot radius at intersections.
- Sidewalks within the subdivision shall be provided in accordance with Table 6.2.1 of the Land Development Code.
- Street grades shall not be less than 1% (Min.) or 10% (max.).
- Verges shall be provided as required by Metro Public Works.
- All streets, intersections, loop roads, cul-de-sacs, bulbs, traffic circles and rights-of-way shall be in accordance with the Development Code and Metro Public Works' standards and approved at the time of construction.
- All street name signs shall conform with the MUTCD requirements and shall be installed prior to the recording of the applicable subdivision plat or prior to obtaining the first certificate of occupancy and shall be in place at time of bond release.
- The location and type of plantings within the street right-of-way will be evaluated for roadway safety and sight distance requirements by Metro Public Works which reserves the right to remove them without the property owner's approval.
- Should any existing drainage structures and/or utilities located within offsite rights-of-way become necessary to be altered, extended or relocated, such shall be at the owner's/developer's expense.
- All roadway intersections shall meet the requirements for landing areas as set by Metro Public Works.
- The minimum driveway length is 25' from garage or building facade to back of sidewalks or edge of pavement or curb.
- Construction plans, bond, and permit are required by Metro Public Works prior to construction approval.
- End of road signage will be in place prior to recording of record plat indicating the possible extension of the subdivision.
- An encroachment permit and bond are required by Metro Public Works for roadway repairs on all surrounding access roads to the subdivision site due to damages caused by construction traffic activities.

LOCATION MAP  
NOT TO SCALE

## SITE AREA

AREA (PRD AREA)	= 6.77± Ac. (294,943 SF)
R/W DEDICATION AREA	= 1.15± Ac. (49,922 SF)
NET SITE AREA	= 5.62± Ac. (245,021 SF)
EXISTING ZONING	= R-4
PROPOSED ZONING	= PRD
FORM DISTRICT	= NEIGHBORHOOD
EXISTING USE	= UNDEVELOPED
PROPOSED USE	= TOWNHOUSES (FEE SIMPLE)
TOTAL # RESIDENTIAL UNITS	= 40 TOWNHOUSES
TOTAL AREA OF LOTS	= 2.49± Ac. (108,482 SF)
NET DENSITY	= 7.18 DU/Ac. (7.26 DU/Ac. MAX. ALLOWED)

## PRD REQUIREMENTS

MINIMUM LOT AREA	= 3,000 SF (END UNITS), 2,000 SF (INTERIOR)
MINIMUM SIDE YARD	= 0'
MIN. FRONT YARD & STREET SIDE YARD	= 15'
MINIMUM LOT WIDTH	= 0'
MINIMUM REAR YARD	= 25'
MAX. BUILDING HEIGHT	= 35'

## TREE CANOPY CALCULATIONS

SITE AREA	= 294,943 S.F.
EXISTING TREE CANOPY AREA	= 69% (202,406 S.F.)
EXISTING TREE CANOPY TO BE REQUIRED	= 20% (40,481 S.F.)
EXISTING TREE CANOPY TO BE PRESERVED	= 29.5% (59,768 S.F.)
TOTAL TREE CANOPY AREA REQUIRED	= 40% (80,962 S.F.)
TOTAL TREE CANOPY AREA TO BE PROVIDED	= 10.5% (21,194 S.F.)

## OPEN SPACE CALCULATIONS

OPEN SPACE REQUIRED	= 6,000 SF X 40 = 240,000 SF - 108,482 SF
OPEN SPACE REQUIRED	= 131,518 SF / 2 = 65,759 SF
OPEN SPACE REQUIRED	= 65,759 SF
OPEN SPACE FOR OUTDOOR RECREATION	= 61,023 SF
OPEN SPACE FOR NATURAL RESOURCE PROTECTION	= 15,818 SF
TOTAL OPEN SPACE PROVIDED	= 76,841 SF

## DETENTION BASIN CALCULATIONS

X = Δ CRA/12  
ΔC = 0.50-0.23=0.27  
A = 6.77 ACRES  
R = 2.8 INCHES  
X = (0.27)(6.77)(2.8)/12 = 0.43 AC.-FT.  
REQUIRED X = 18,730 CU.FT.  
BASIN PROVIDED = 9,620 CU. FT. @ 2' DEPTH = 19,240 CU. FT.  
BASIN PROVIDED = 19,240 CU. FT. > 18,730 CU. FT.

RECEIVED

OCT 03 2024  
PLANNING & DESIGN  
SERVICES

## LOT AREA

LOT#	AREA	LOT#	AREA	LOT#	AREA
1	3000 SF	14	3008 SF	27	2160 SF
2	3000 SF	15	3007 SF	28	2160 SF
3	3000 SF	16	2165 SF	29	3000 SF
4	2160 SF	17	2165 SF	30	3000 SF
5	3000 SF	18	3008 SF	31	2162 SF
6	3388 SF	19	3038 SF	32	2172 SF
7	2444 SF	20	2184 SF	33	3055 SF
8	3488 SF	21	3033 SF	34	3000 SF
9	3018 SF	22	3033 SF	35	2160 SF
10	3017 SF	23	2184 SF	36	2160 SF
11	3308 SF	24	2184 SF	37	3000 SF
12	2249 SF	25	3026 SF	38	3000 SF
13	2188 SF	26	3000 SF	39	2160 SF
				40	3000 SF

OWNERS:  
RLM PROPERTIES, INC  
705 DANES HALL DR  
Louisville, KY 40206SITE ADDRESS:  
7203 EAST MANSLICK RD  
LOUISVILLE, KY 40228  
TAX BLOCK: 0654, LOT 0021  
D.B. 12652, PG. 668DEVELOPER:  
RLM BUILDING & REMODEL  
705 DANES HALL DR  
Louisville, KY 40206COUNCIL DISTRICT - 23  
FIRE PROTECTION DISTRICT - HIGHVIEW  
MUNICIPALITY - LOUISVILLEJOB: 21183  
DATE: 05/17/24  
WATER/SUB#

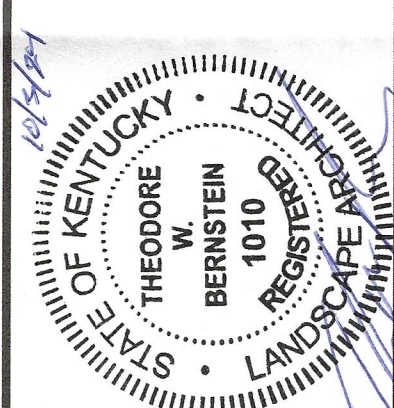
PRELIMINARY SUBDIVISION / REZONE PLAN

MORRIS - MANSLICK

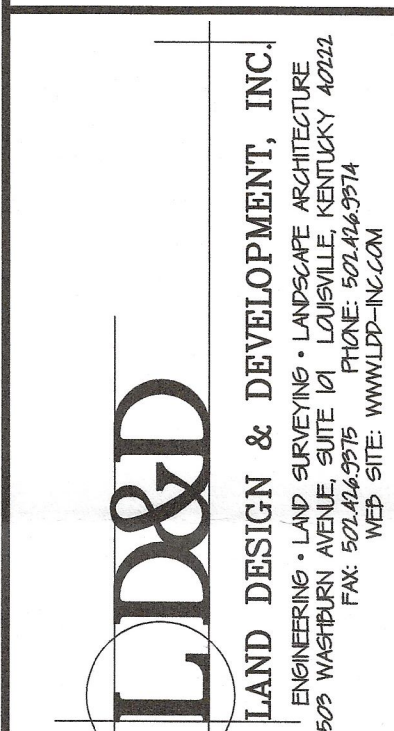
OWNER/DEVELOPER  
RLM PROPERTIES, INC  
705 DANES HALL DRIVE  
LOUISVILLE, KY 40206JOB NO.  
21183SHEET  
1  
OF 1

SURVEYOR'S SEAL

LANDSCAPE ARCHITECT'S SEAL



PROJECT DATA
FILE NAME: 21183-ZC-PRESUB
DATE: 5/17/24
CHECKED BY: TB
SCALE: AS SHOWN
DRAWN BY: TB



## LEGEND

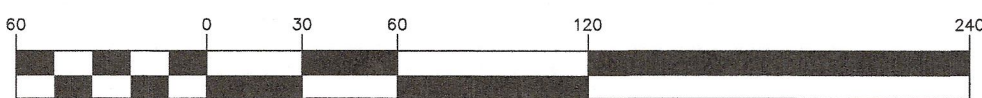
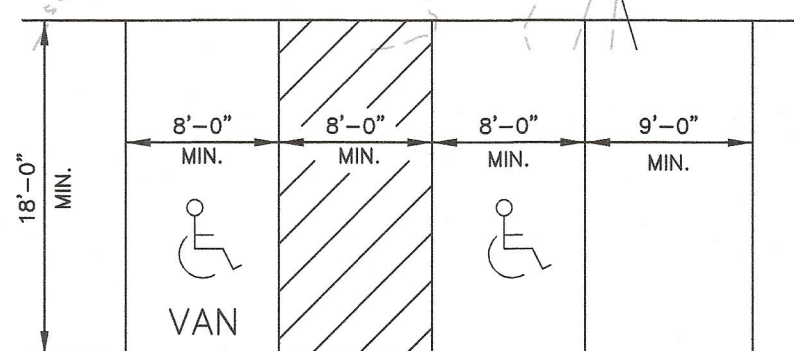
- PROPOSED STORM SEWER, CATCH BASIN AND CREEKSTONE HEADWALL
- PROPOSED SEWER AND MANHOLE
- PROPOSED DRAINAGE SWALE
- PROPOSED TREE PRESERVATION AREA
- CONCEPTUAL DRAINAGE FLOW AREAS
- LIMITS OF DISTURBANCE

## BENCHMARK DESCRIPTIONS

TBM#42228= SQUARE CUT ON SOUTHWEST CORNER OF CONCRETE PAD FOR AT&T EQUIPMENT. CONCRETE PAD IS LOCATED 43°4' - NORTH OF THE EDGE OF PAVEMENT OF EAST MANSLICK ROAD AND 362°4' - WEST OF THE CENTERLINE OF THE INTERSECTION OF BRAEBURN RIDGE DRIVE AND EAST MANSLICK ROAD.  
ELEVATION=656.289' (NAVD 88)

SOURCE - ELEVATIONS ARE BASED ON LOJIC MONUMENT BS30-02-2018  
ELEVATION=748.39 (NAVD 88)

## GRAPHIC SCALE

( IN FEET )  
1 inch = 60 ft.TYPICAL PARKING SPACE LAYOUT  
NO SCALE